

Metro Vancouver

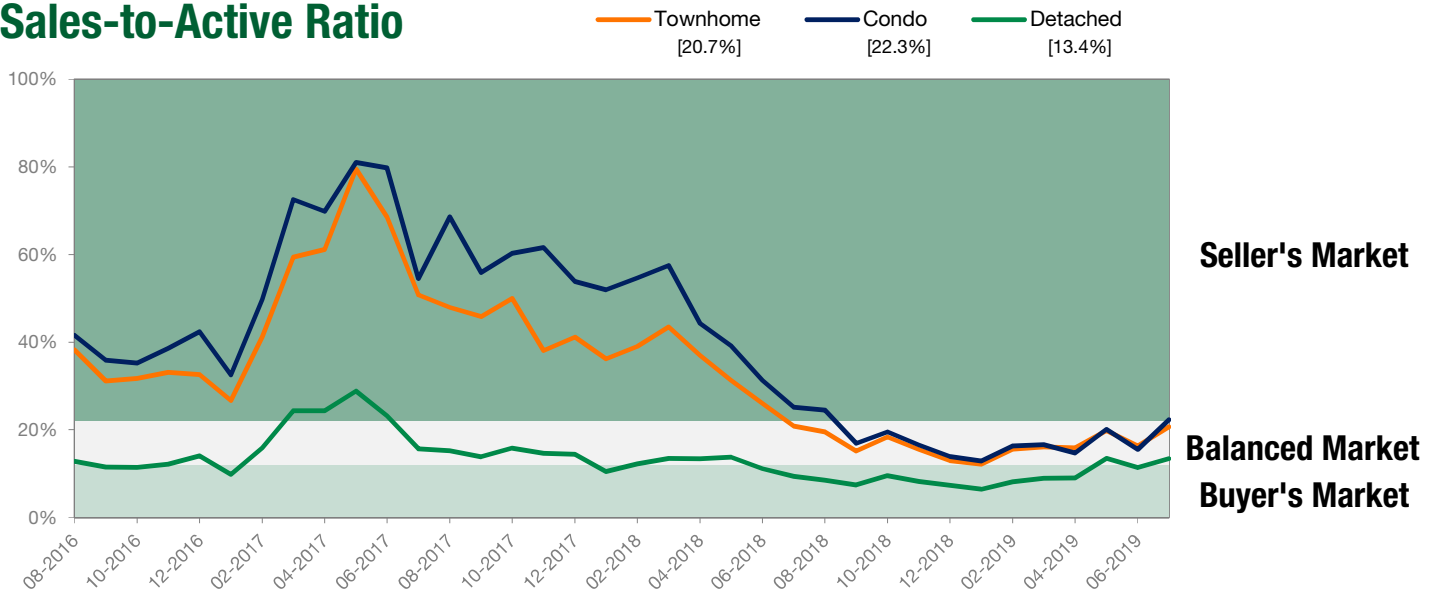
July 2019

Detached Properties	July			June		
	2019	2018	One-Year Change	2019	2018	One-Year Change
Activity Snapshot						
Total Active Listings	6,366	6,922	- 8.0%	6,724	6,941	- 3.1%
Sales	852	649	+ 31.3%	760	773	- 1.7%
Days on Market Average	48	47	+ 2.1%	48	37	+ 29.7%
MLS® HPI Benchmark Price	\$1,417,000	\$1,583,900	- 10.5%	\$1,423,500	\$1,596,900	- 10.9%

Condos	July			June		
	2019	2018	One-Year Change	2019	2018	One-Year Change
Activity Snapshot						
Total Active Listings	5,582	4,304	+ 29.7%	6,091	3,973	+ 53.3%
Sales	1,245	1,081	+ 15.2%	946	1,242	- 23.8%
Days on Market Average	37	24	+ 54.2%	36	21	+ 71.4%
MLS® HPI Benchmark Price	\$653,200	\$716,000	- 8.8%	\$654,700	\$719,000	- 8.9%

Townhomes	July			June		
	2019	2018	One-Year Change	2019	2018	One-Year Change
Activity Snapshot						
Total Active Listings	1,953	1,508	+ 29.5%	2,096	1,423	+ 47.3%
Sales	404	314	+ 28.7%	341	370	- 7.8%
Days on Market Average	41	27	+ 51.9%	34	22	+ 54.5%
MLS® HPI Benchmark Price	\$770,000	\$846,400	- 9.0%	\$774,700	\$847,300	- 8.6%

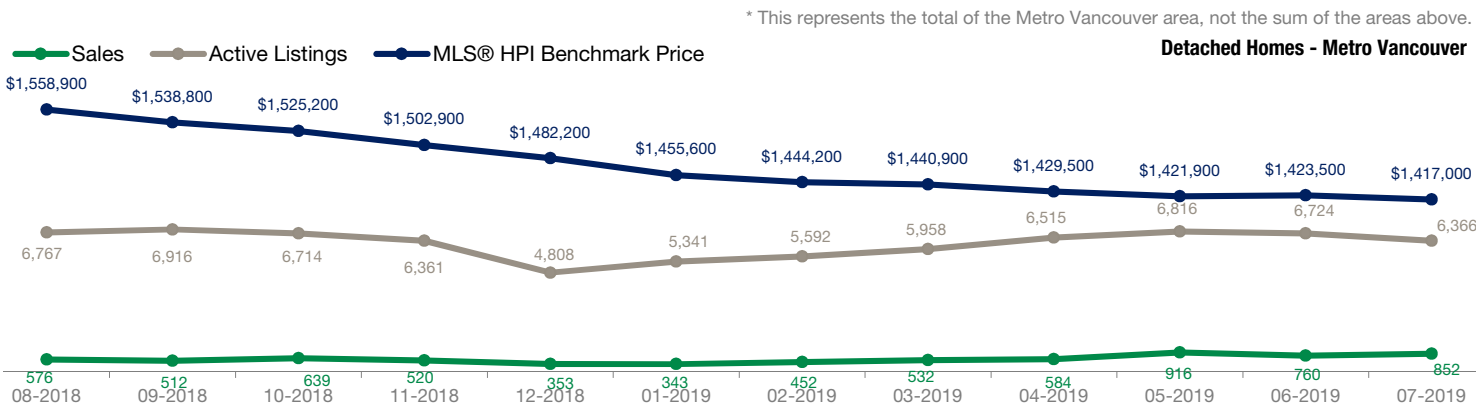
Sales-to-Active Ratio



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Detached Properties Report – July 2019

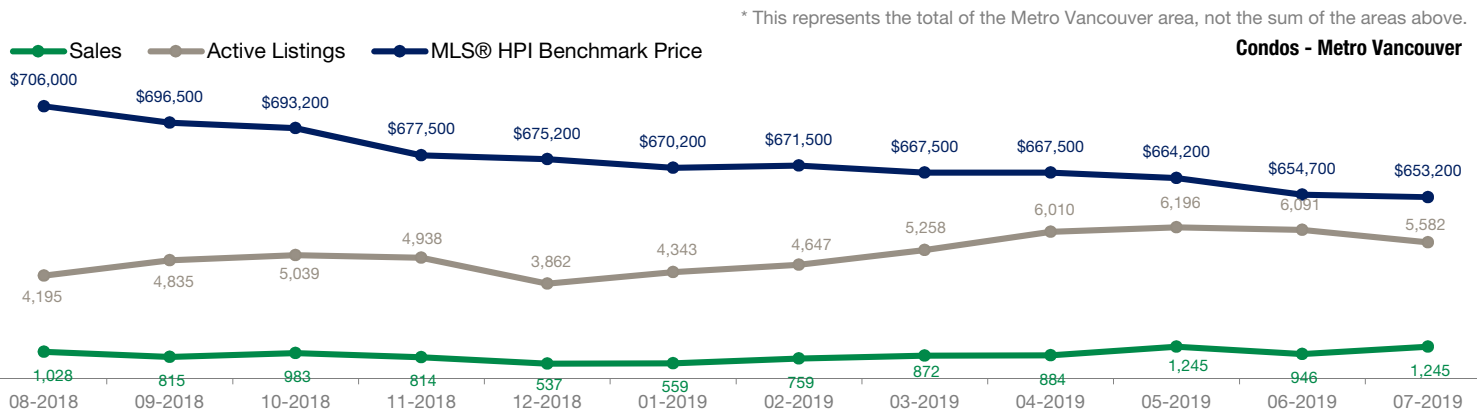
Price Range	Sales	Active Listings	Avg Days on Market	Neighbourhood	Sales	Active Listings	Benchmark Price	One-Year Change
\$99,999 and Below	3	6	17	Bowen Island	8	47	\$950,600	- 6.7%
\$100,000 to \$199,999	4	22	28	Burnaby East	6	60	\$1,181,900	- 10.8%
\$200,000 to \$399,999	16	53	37	Burnaby North	39	229	\$1,373,400	- 11.7%
\$400,000 to \$899,999	168	712	49	Burnaby South	32	212	\$1,477,300	- 12.3%
\$900,000 to \$1,499,999	370	1,795	47	Coquitlam	86	537	\$1,169,300	- 10.7%
\$1,500,000 to \$1,999,999	134	1,148	51	Ladner	20	120	\$946,300	- 6.9%
\$2,000,000 to \$2,999,999	100	1,335	47	Maple Ridge	89	513	\$823,500	- 6.0%
\$3,000,000 and \$3,999,999	36	533	53	New Westminster	17	119	\$1,045,900	- 10.4%
\$4,000,000 to \$4,999,999	9	276	66	North Vancouver	76	389	\$1,488,600	- 9.9%
\$5,000,000 and Above	12	486	51	Pitt Meadows	12	74	\$900,300	- 5.8%
TOTAL	852	6,366	48	Port Coquitlam	32	158	\$919,200	- 9.6%
				Port Moody	11	116	\$1,442,000	- 5.7%
				Richmond	86	895	\$1,474,800	- 13.3%
				Squamish	13	123	\$980,900	+ 0.4%
				Sunshine Coast	63	444	\$596,000	- 4.3%
				Tsawwassen	20	184	\$1,172,700	- 7.3%
				Vancouver East	104	681	\$1,352,800	- 11.3%
				Vancouver West	80	711	\$2,895,400	- 13.6%
				West Vancouver	43	532	\$2,549,700	- 12.5%
				Whistler	5	96	\$1,649,100	+ 7.1%
				TOTAL*	852	6,366	\$1,417,000	- 10.5%



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Condo Report – July 2019

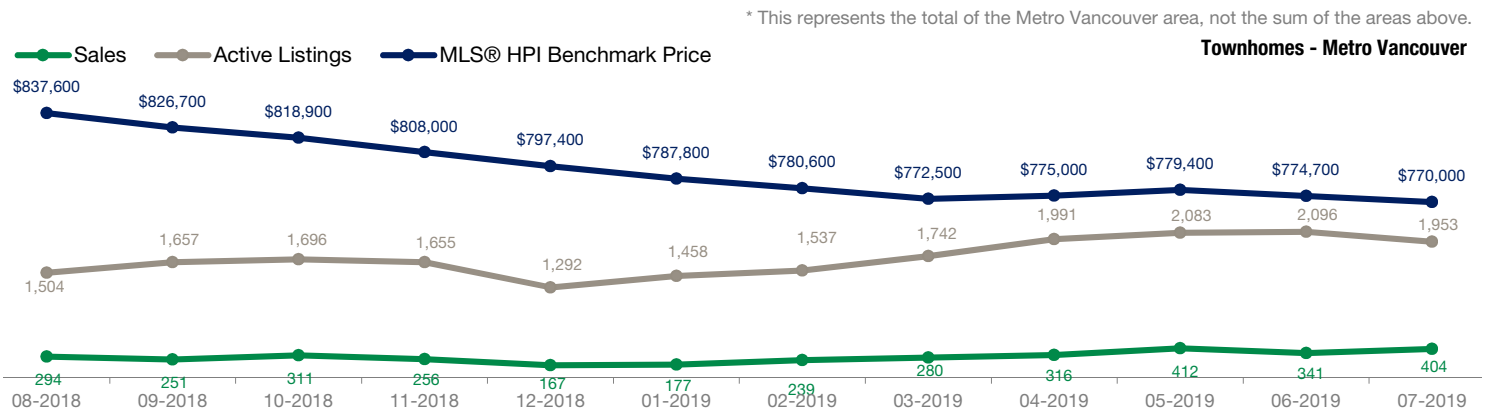
Price Range	Sales	Active Listings	Avg Days on Market	Neighbourhood	Sales	Active Listings	Benchmark Price	One-Year Change
\$99,999 and Below	0	4	0	Bowen Island	0	0	\$0	--
\$100,000 to \$199,999	8	29	37	Burnaby East	3	34	\$721,200	- 8.4%
\$200,000 to \$399,999	149	430	38	Burnaby North	73	290	\$609,500	- 7.8%
\$400,000 to \$899,999	934	3,736	36	Burnaby South	88	414	\$653,500	- 10.7%
\$900,000 to \$1,499,999	119	857	40	Coquitlam	94	378	\$516,400	- 5.9%
\$1,500,000 to \$1,999,999	20	240	58	Ladner	3	38	\$432,800	- 8.3%
\$2,000,000 to \$2,999,999	11	159	37	Maple Ridge	37	142	\$347,800	- 9.8%
\$3,000,000 and \$3,999,999	3	57	85	New Westminster	95	337	\$515,200	- 10.1%
\$4,000,000 to \$4,999,999	0	21	0	North Vancouver	96	395	\$554,600	- 9.1%
\$5,000,000 and Above	1	49	4	Pitt Meadows	5	28	\$488,700	- 10.0%
TOTAL	1,245	5,582	37	Port Coquitlam	29	126	\$446,000	- 7.3%
				Port Moody	29	55	\$628,700	- 6.7%
				Richmond	148	875	\$622,500	- 9.0%
				Squamish	11	80	\$478,600	- 5.8%
				Sunshine Coast	6	65	\$0	--
				Tsawwassen	20	58	\$458,400	- 9.0%
				Vancouver East	128	485	\$550,600	- 8.0%
				Vancouver West	353	1,521	\$752,300	- 9.9%
				West Vancouver	13	127	\$1,085,700	- 12.2%
				Whistler	13	110	\$475,800	- 4.3%
				TOTAL*	1,245	5,582	\$653,200	- 8.8%



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Townhomes Report – July 2019

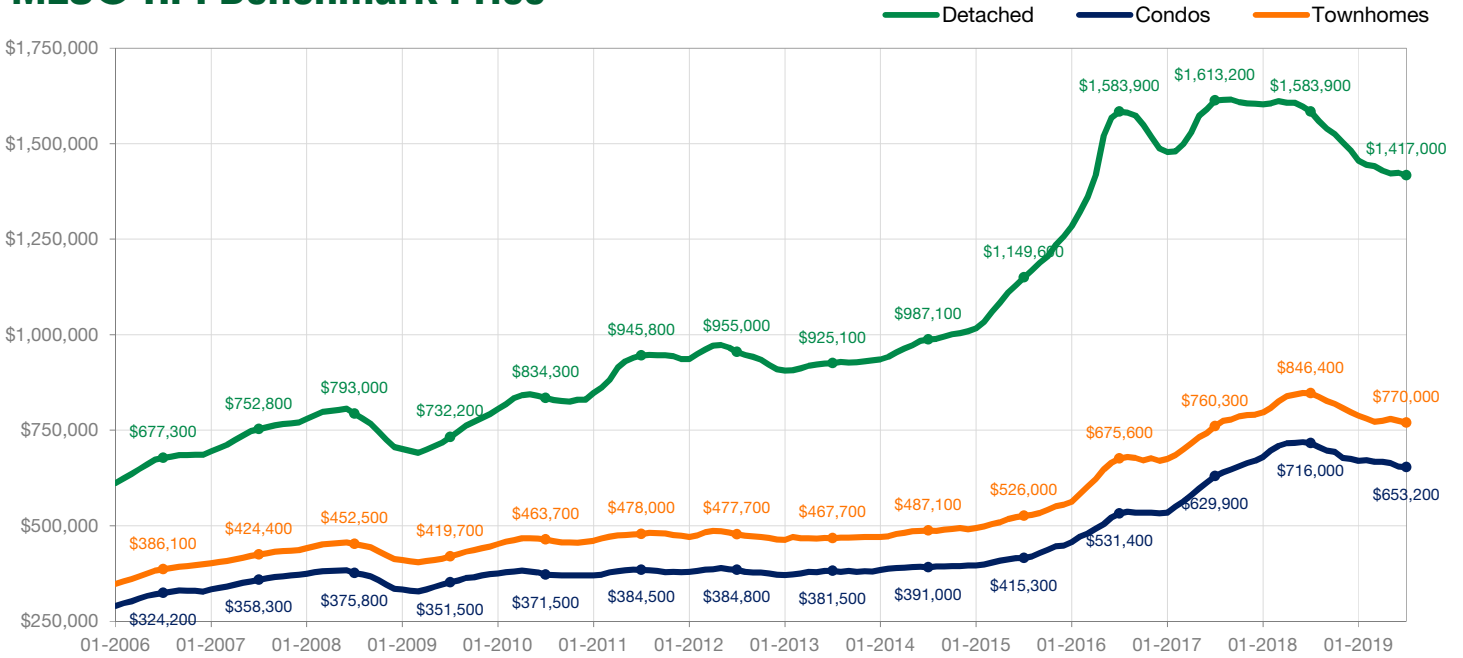
Price Range	Sales	Active Listings	Days on Market	Neighbourhood	Sales	Active Listings	Benchmark Price	One-Year Change
\$99,999 and Below	0	0	0	Bowen Island	0	1	\$0	--
\$100,000 to \$199,999	0	1	0	Burnaby East	4	45	\$648,400	- 11.6%
\$200,000 to \$399,999	7	23	45	Burnaby North	17	73	\$723,100	- 7.6%
\$400,000 to \$899,999	293	1,149	41	Burnaby South	22	96	\$760,600	- 10.1%
\$900,000 to \$1,499,999	86	556	41	Coquitlam	49	145	\$653,200	- 8.1%
\$1,500,000 to \$1,999,999	14	140	47	Ladner	10	32	\$631,200	- 16.3%
\$2,000,000 to \$2,999,999	4	59	55	Maple Ridge	54	145	\$524,100	- 7.7%
\$3,000,000 and \$3,999,999	0	14	0	New Westminster	9	59	\$713,900	- 9.3%
\$4,000,000 to \$4,999,999	0	4	0	North Vancouver	28	122	\$944,100	- 8.6%
\$5,000,000 and Above	0	7	0	Pitt Meadows	3	28	\$599,500	- 11.3%
TOTAL	404	1,953	41	Port Coquitlam	22	91	\$631,800	- 7.9%
				Port Moody	15	51	\$656,900	- 4.8%
				Richmond	65	470	\$770,900	- 11.4%
				Squamish	9	44	\$687,900	- 7.2%
				Sunshine Coast	6	53	\$0	--
				Tsawwassen	6	24	\$613,500	- 15.3%
				Vancouver East	24	93	\$847,400	- 8.5%
				Vancouver West	48	258	\$1,114,700	- 8.8%
				West Vancouver	0	40	\$0	--
				Whistler	11	68	\$915,400	- 5.6%
				TOTAL*	404	1,953	\$770,000	- 9.0%



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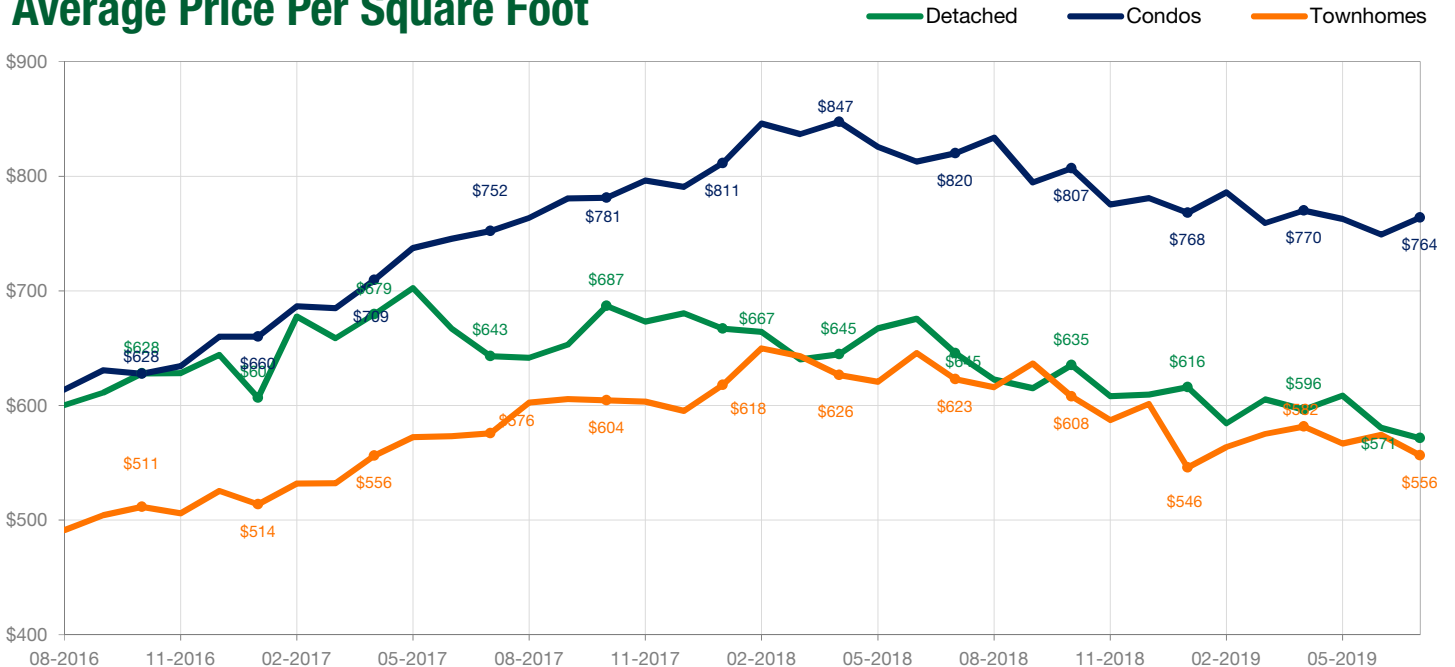
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MLS® HPI Benchmark Price



Note: \$0 means that there is no sales activity, not \$0 as an MLS® HPI Benchmark Price.

Average Price Per Square Foot



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