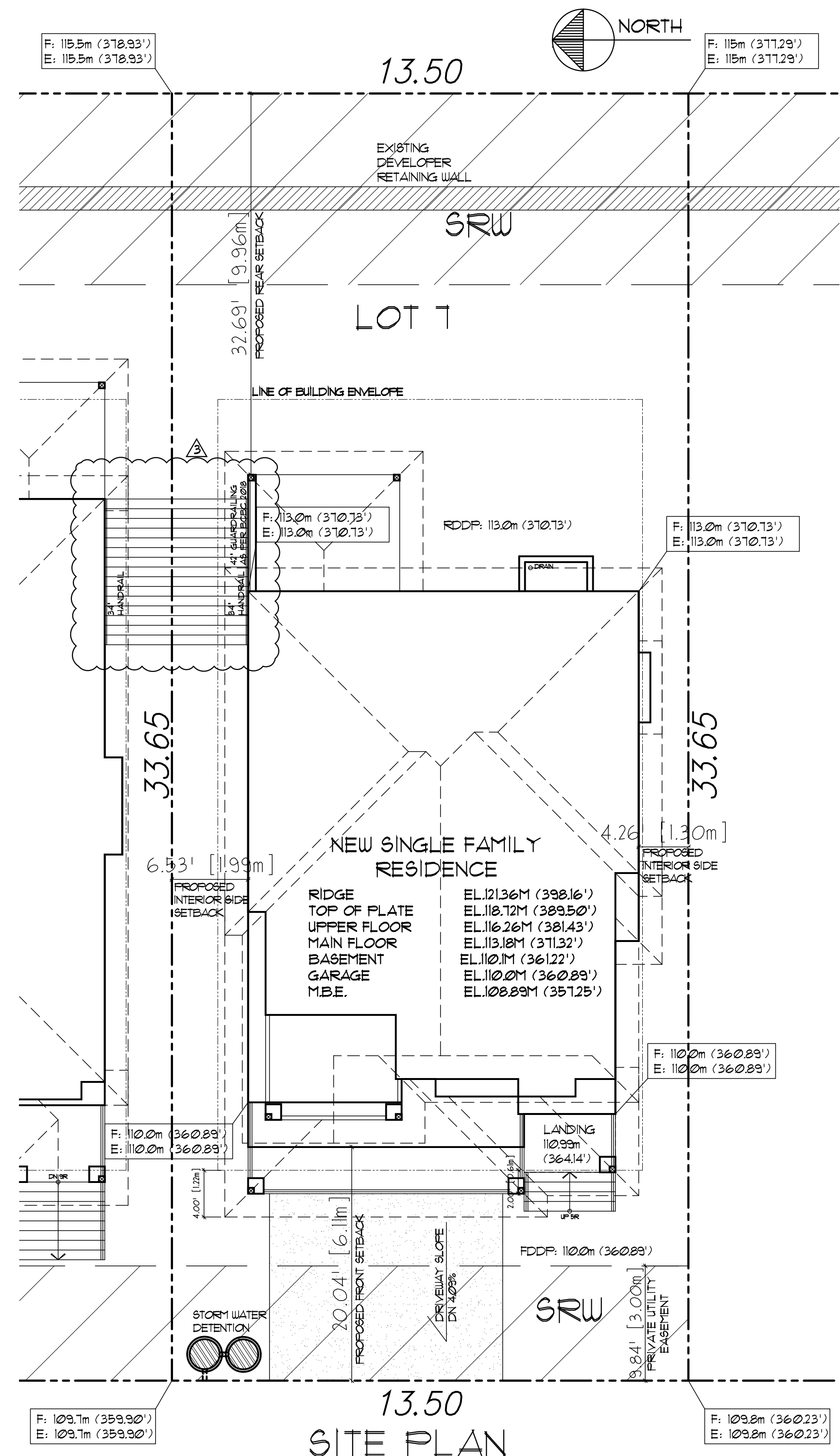


GENERAL NOTES

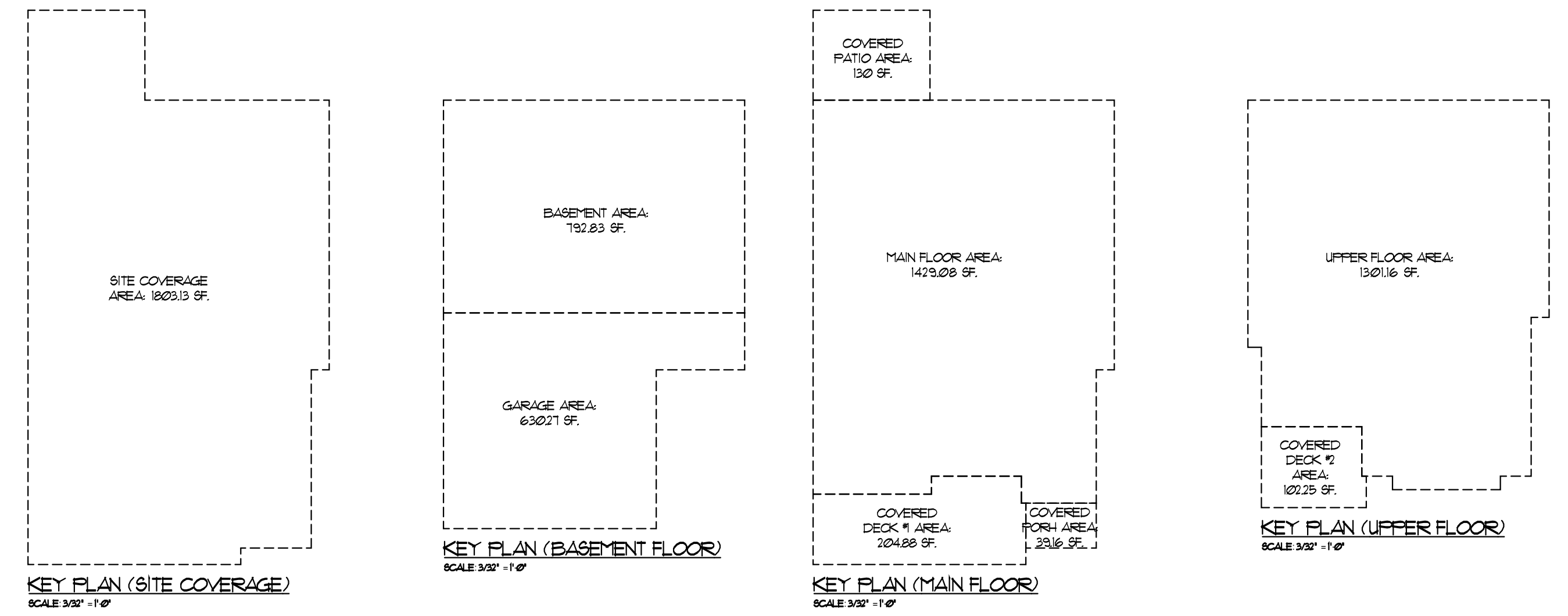
- ALL WORK AND MATERIALS TO CONFORM TO STANDARDS AND REQUIREMENTS OF THE BRITISH COLUMBIA BUILDING CODE (B.C.B.C.) 2018.
- ALL DRAWINGS MUST BE APPROVED BY CITY/MUNICIPAL AUTHORITIES HAVING JURISDICTION AND HAVE APPLICABLE PERMITS ISSUED BEFORE STARTING CONSTRUCTION.
- BUILDER MUST ENSURE THAT ALL WORK PERFORMED ON SITE COMPLIES WITH WORKERS COMPENSATION BOARD'S REQUIREMENTS AND STANDARDS. BUILDER MUST NOTIFY HIS ENGINEER BEFORE AND AFTER EXCAVATION AND OBTAIN CERTIFICATION FROM THE ENGINEER BEFORE ANY WORKERS ARE ALLOWED TO WORK IN THE EXCAVATED AREA. SUCH CERTIFICATION MUST BE POSTED ON SITE AT A PROMINENT LOCATION AND UPDATED BY THE ENGINEER AT REGULAR INTERVALS.
- SUB-CONTRACTORS AND/OR SUB-TRADES RESPONSIBLE FOR ON SITE EXECUTION OF WORK THESE DRAWINGS, DETAIL, ARE TO CHECK AND VERIFY ALL DRAWINGS FOR ERRORS AND OMISSIONS BEFORE ORDERING MATERIALS OR STARTING WORK. CONTRACTOR TO NOTIFY SEL ENGINEERING LTD. IMMEDIATELY OF ANY CHANGES OR OMISSIONS.
- TRUSS DESIGN MUST BE COMPLETED BEFORE FORM CONSTRUCTION AND ENLARGED FOOTINGS AS DESIGNED BY STRUCTURAL ENGINEER PURSUANT TO TRUSS POINT LOADS MAY BE REQUIRED.
- ALL POINT LOADS MUST BE FULLY SUPPORTED DOWN TO FOUNDATION THE WIDTH OF SUPPORTING COLUMNS SHALL NOT BE LESS THAN THE WIDTH OF THE SUPPORTED MEMBER (S14.1). ALL POINT LOADS FROM TRUSSES MUST BE STRUCTURALLY SUPPORTED BY COLUMNS OR ENGINEERED BEAMS AND DOUBLE CRIPPLE STUDS AS DESIGNED BY STRUCTURAL ENGINEER.
- CONTRACTORS, SUB-CONTRACTORS AND/OR SUB-TRADES SHALL INSURE THAT ANY CONCENTRATED LOAD WHICH MAY ARISE DURING CONSTRUCTION, WHETHER OR NOT IT HAS BEEN SPECIFICALLY DETAILED, SHALL BE SUPPORTED ACCORDING TO GOOD PRACTICE AND THAT THE METHOD OF SUPPORT, AS WELL AS ALL MEMBERS SUPPORTING SUCH LOADS, SHALL FIRST BE APPROVED BY THE AUTHORITY HAVING JURISDICTION AND/OR A PROFESSIONAL ENGINEER, AND SHALL CONFORM TO THE B.C.B.C. BEFORE SUCH LOADING SHALL BE ALLOWED TO OCCUR.
- ALL BEAM SIZES TO BE CONFIRMED OR DESIGNED BY PROFESSIONAL ENGINEER.
- BEAMS WHICH EXCEED SPECIFICATIONS OF THE B.C.B.C. MUST BE CHECKED AND VERIFIED BY A STRUCTURAL ENGINEER BEFORE STARTING CONSTRUCTION.
- FRAMING MATERIAL TO BE DOUGLAS FIR NO. 2 OR BETTER GRADE (S3.2.2), UNLESS NOTED OTHERWISE BY A PROFESSIONAL ENGINEER.
- ALL LINTELS TO BE MIN. 2"x10" D.F. NO. 2 UNLESS OTHERWISE NOTED (S3.2.3.3).
- CONCRETE TO BE MIN. 25 MPA # 28 DAYS, 100 MM SLUMP UNLESS OTHERWISE DESIGNED BY STRUCTURAL ENGINEER (S3.1).
- FOUNDATION WALLS NOT LATEROALLY SUPPORTED HIGHER THAN 4' FROM SLAB TO GRADE AND NON-LATERALLY SUPPORTED WALLS GREATER THAN 1'-6" FROM SLAB TO GRADE MUST BE REINFORCED.
- ALL FOOTINGS SHALL EXTEND BELOW FROST LEVEL TO SUITABLE BEARINGS. IF SUITABLE BEARING CANNOT BE OBTAINED A PROFESSIONAL SOILS ENGINEER SHOULD BE CONSULTED.
- GUARDS SHALL CONFORM TO S3.8.
- ALL EXTERIOR GUARDRAILS TO BE 42" HIGH (36" IF DIFFERENCE IN ELEVATION IS LESS THAN 6 FT).
- ALL INTERIOR GUARDRAILS TO BE 36" HIGH.
- ALL HANDRAILS 315' TO 38" HIGH (S3.7.4.1).
- ALL EXTERIOR DOORS TO BE SOLID CORE AND WEATHER STRIPPED.
- INSTALL C.S.A. APPROVED SMOKE ALARMS AND CO2 DETECTORS ON ALL FLOOR LEVELS TO CEILING OF HALLWAYS'S SERVING SLEEPING AREAS (S10.8.3).
- PROVIDE VENTILATION FOR THE DUELLING IN ACCORDANCE WITH (S3.2).
- ROOF ACCESS MIN. 20' X 215' (S12.1.1) VENTING MIN. 1/320 (S12.1.2).
- SECURITY BLOCKS FOR 2 STUD SPACES BY ALL EXTERIOR DOORS (S6.8.3).
- WATERPROOF BACKING (AQUA BOARD) TO BE USED FOR ALL BATHTUBS AND SHOWER ENCLOSURES.
- INSULATION AND VAPOUR BARRIER TO CONFORM TO PART 5 AND PART 9.36. PROVIDE INSULATION VAPOUR BARRIER AND GYFROC FOR FIREPLACE AND B VENT SHAFTS.
- STAIR RISE AND RUN TO CONFORM TO S3.3.1. HEADROOM MIN. 6'-9" (2057mm) (S3.3.4).
RISE 4'-11" (1511mm) (S3.3.4.1)
RUN 10'-0" (3048mm) (S3.3.4.2)
- BUILDINGS WITH ATTACHED GARAGE - ALL WALLS AND CEILING SEPARATING ATTACHED GARAGE AND DUELLING MUST BE INSULATED BE AIR TIGHT, HAVE TWO LAYERS OF DRYWALL, STAGGERED JOISTS ON THE GARAGE SIDE AS A BARRIER DOORS SEPARATING GARAGE AND DUELLING MUST BE SOLID CORE WEATHER STRIPPED AND WITH SELF-CLOSING DEVICES.
- WINDOWS AND SKYLIGHTS - ALL WINDOWS SHALL CONFORM TO WINDOW STANDARDS AS PER S12.2 AND GLASS STANDARDS AS PER S13. SKYLIGHTS SHALL CONFORM TO STANDARDS AS PER S13.1. WINDOWS LOCATED WITHIN 3 FT OF EXTERIOR DOOR LOCKS SHALL HAVE SAFETY GLASS, WIRE GLASS OR TEMPERED GLASS. ALL WINDOWS AND DOORS SHALL HAVE A U-FACTOR NO GREATER THAN 1.8 W/m²K. ALL SKYLIGHTS SHALL HAVE A U-FACTOR NO GREATER THAN 2.3 W/m²K.
- DECK OVER HABITABLE AREA - PROVIDE 2X4 CROSS FURLIN AT 16" O.C. ON DECK JOIST AND CROSS VENTILATION EXCEPT FOR BUILD-UP ROOFING (TAR AND GRAVEL). ALL OTHER WATER-PROOFING MEMBRANE MUST BE AN APPROVED PRODUCT AND BE CERTIFIED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER.
- STARTING WORK SHALL IMPLY ACCEPTANCE OF THESE TERMS AND SHALL MEAN ACCEPTANCE OF ALL SPECIFICATIONS, DIMENSIONS AND REQUIREMENTS AS WELL AS ALL SURFACES AND CONDITIONS AS BEING SUITABLE TO RECEIVE SAID WORK.
- DO NOT SCALE DRAWINGS.
- MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS PLACED WITHIN AND PARALLEL TO AN EXTERIOR WALL ARE REQUIRED TO BE INSULATED TO THE EFFECTIVE THERMAL RESISTANCE REQUIRED FOR THE WALL AT THE PROJECTED AREA OF THE SYSTEM COMPONENT.
- AIR BARRIERS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 9.36.2.9 AND 9.36.2.10.
- HVAC AND SERVICE WATER EQUIPMENT TO CONFORM TO SECTION 9.36.
- ALL NON-GASKET DEVICES INSTALLED IN INSULATED ASSEMBLIES ARE TO BE PROVIDED WITH BACKING TO ALLOW SEALING OF SHEET POLY TO POLY BOOTHS.

ATTENTION
IN THE CASE OF RENOVATIONS, THESE DRAWINGS WERE DERIVED FROM AS-BUILT SKETCHES AND/OR ON-SITE DIMENSION TAKINGS. DUE TO THE FACT THAT SOME SURFACES AND AREAS AFFECTED ARE HIDDEN PRIOR TO COMPLETION OF THESE DRAWINGS, CONTRACTORS SHALL NOTIFY SEL ENGINEERING LTD. AND ADJUST AFFECTED AREAS ON SITE AS NECESSARY.



SITE PLAN

SCALE: 1/8" = 1'-0"



ZONING SUMMARY:

CIVIC ADDRESS:	LOT 7 - 24850 106 AVENUE MAPLE RIDGE, B.C.	
LEGAL DESCRIPTION:	LT 1 SEC 11 TWP 12 NWD PL EP54350	
ZONING:	R-1	
SITE AREA:	45425m ² (488958 SF.)	
SITE DIMENSIONS:	13.50m x 33.65m	
PRINCIPLE BUILDING:		
DESCRIPTION:	ALLOWED:	PROPOSED:
SETBACKS		
FRONT YARD:	5.5m (18.04')	6.1m (20.04')
REAR YARD:	8.0m (26.24')	9.96m (32.69')
LEFT SIDE YARD: (SOUTH)	12m (3.93')	13.0m (4.26')
RIGHT SIDE YARD: (NORTH)	12m (3.93')	13.9m (4.53')
MAX. BUILDING HEIGHT:	11.0m (36.08')	9.87m (32.37')
MAX. SITE COVERAGE (ALL STRUCTURE):		
40% 181.7m ² (1955.83 SF.) 36.87% 167.5m ² (1803.13 SF.)		
MAIN HOUSE AREAS:		
PROPOSED:		
UPPER FLOOR:	1301.16 SF.	
MAIN FLOOR:	1473.08 SF.	
BASEMENT FLOOR:	132.83 SF.	
COVERED PORCH:	39.16 SF.	
COVERED DECK #1:	204.88 SF.	
COVERED DECK #2:	102.25 SF.	
COVERED PATIO:	130 SF.	
GARAGE:	630.21 SF.	
ALL CONSTRUCTION SHALL CONFORM TO THE BC BUILDING CODE AND ALL OTHER APPLICABLE BY-LAWS		

REVISIONS:

3	REVISION	02.24.2021
2	REVISION	01.12.2021
1	ISSUED FOR BLDG. PERMIT	10.29.2020

SEL Engineering Limited
Consulting Engineers

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PORT MOODY, BC V3H 2C4
TELEPHONE: 604.469.3173
FACSIMILE: 604.469.3101
E-MAIL: SEL@SELENG.COM

SEAL:

I, CHANGHO CHANG, P. ENG. HAVE REVIEWED AND CONFIRMED THAT ALL STRUCTURAL MEMBERS AND CONNECTIONS OF THIS BUILDING, INCLUDING BRACING TO RESIST SEISMIC LOADS ARE DESIGNED IN ACCORDANCE WITH PART 4 OF BCBC 2018.

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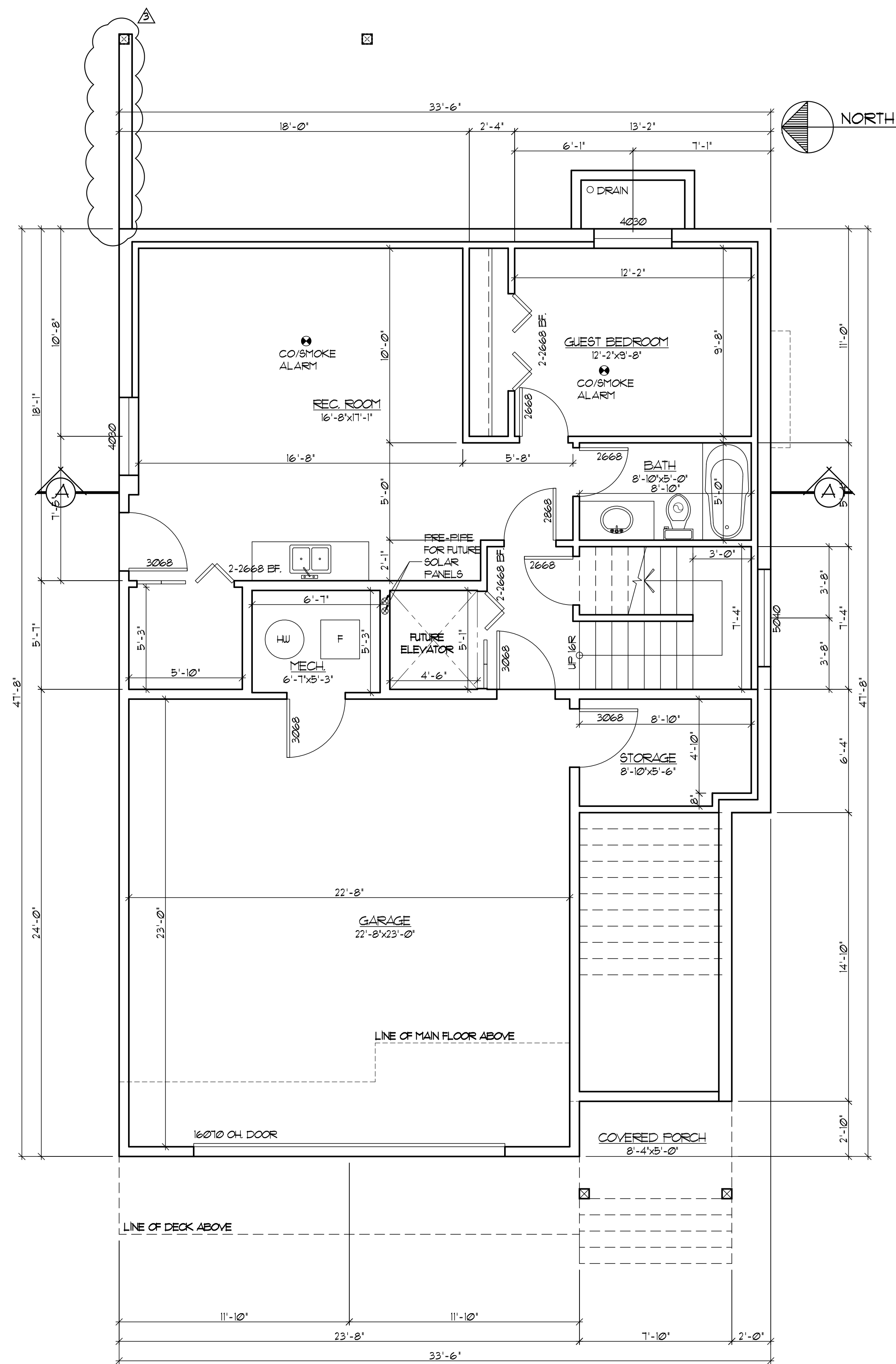
PROJECT TITLE:
NEW SINGLE FAMILY RESIDENCE AT:
LOT 7 - 24850 106 AVENUE,
MAPLE RIDGE, B.C.

DRAWING TITLE:
GENERAL NOTES
SITE PLAN
ZONING SUMMARY
KEY PLANS

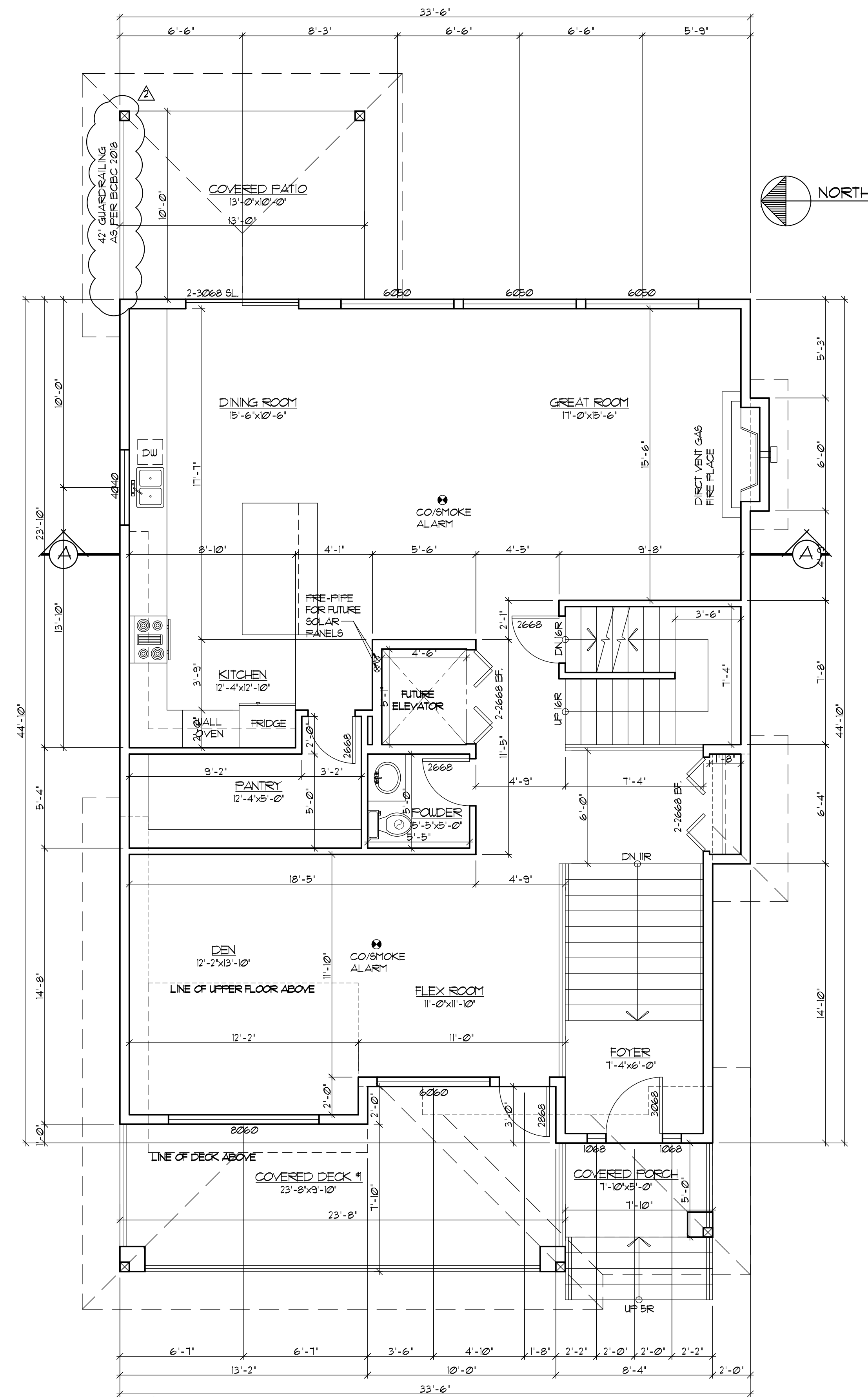
DESIGNED BY: CMC
CHECKED BY: CMC
DRAWN BY: GD
PROJECT NO.: C19110-7
DATE: 10.29.2020
SCALE: AS SHOWN
DRAWING NO.:

A-1

THESE DRAWINGS COMPLY TO THE 2018 BCBC



BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 BASEMENT AREA: 192.83 SF.
 GARAGE AREA: 630.21 SF.



MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 MAIN FLOOR AREA: 1429.08 SF.
 COVERED DECK #1 AREA: 204.28 SF.
 COVERED PATIO AREA: 130 SF.
 COVERED PORCH AREA: 39.16 SF.

REVISIONS:	
3	REVISION 02.24.2021
2	REVISION 01.12.2021
1	ISSUED FOR BLDG. PERMIT 10.29.2020



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 E-MAIL: SEL@SELENG.COM

SEAL:

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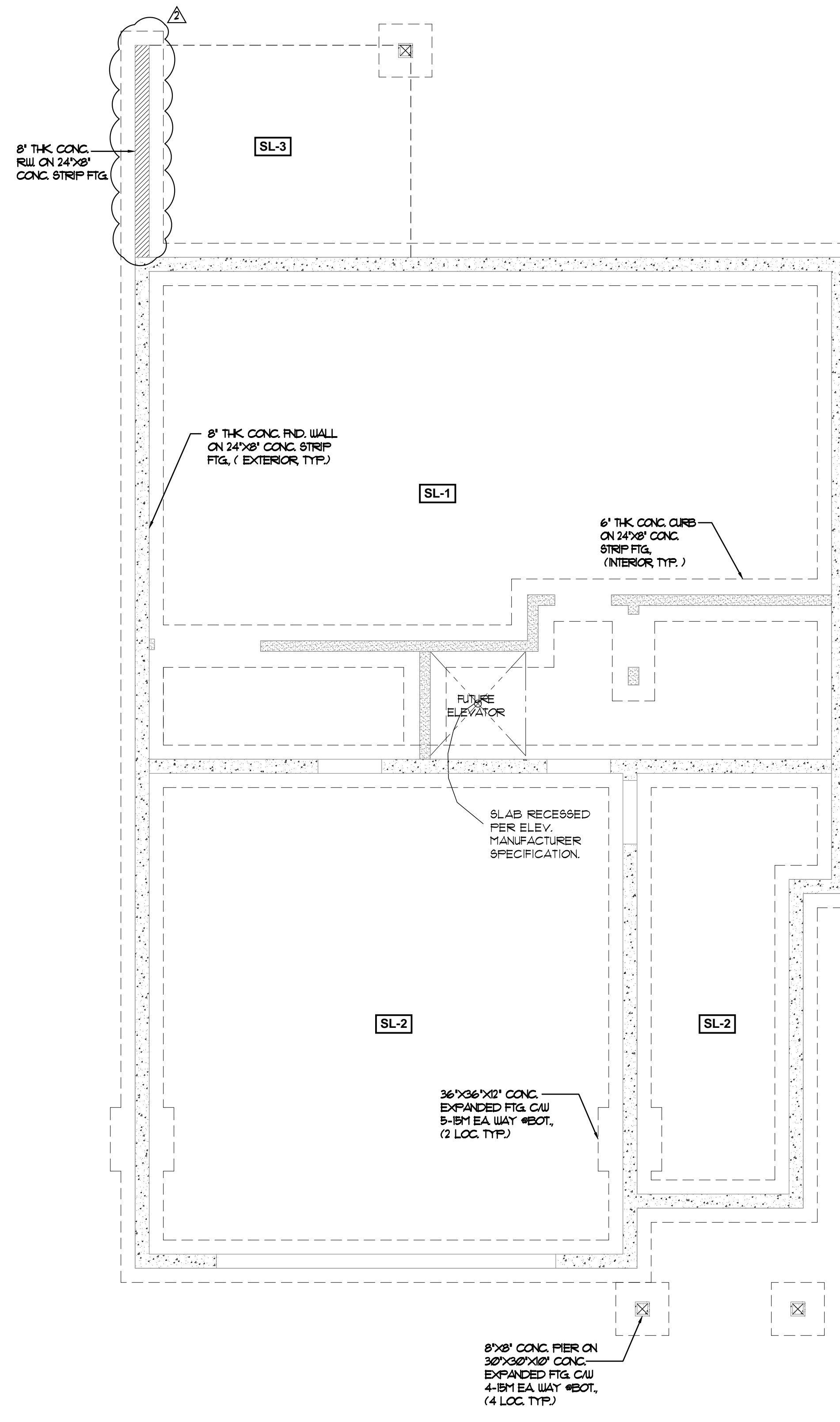
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PROJECT TITLE:
 NEW SINGLE FAMILY RESIDENCE AT:
 LOT 1 - 24250 106 AVENUE,
 MAPLE RIDGE, B.C.

DRAWING TITLE:
 BASEMENT FLOOR PLAN
 MAIN FLOOR PLAN

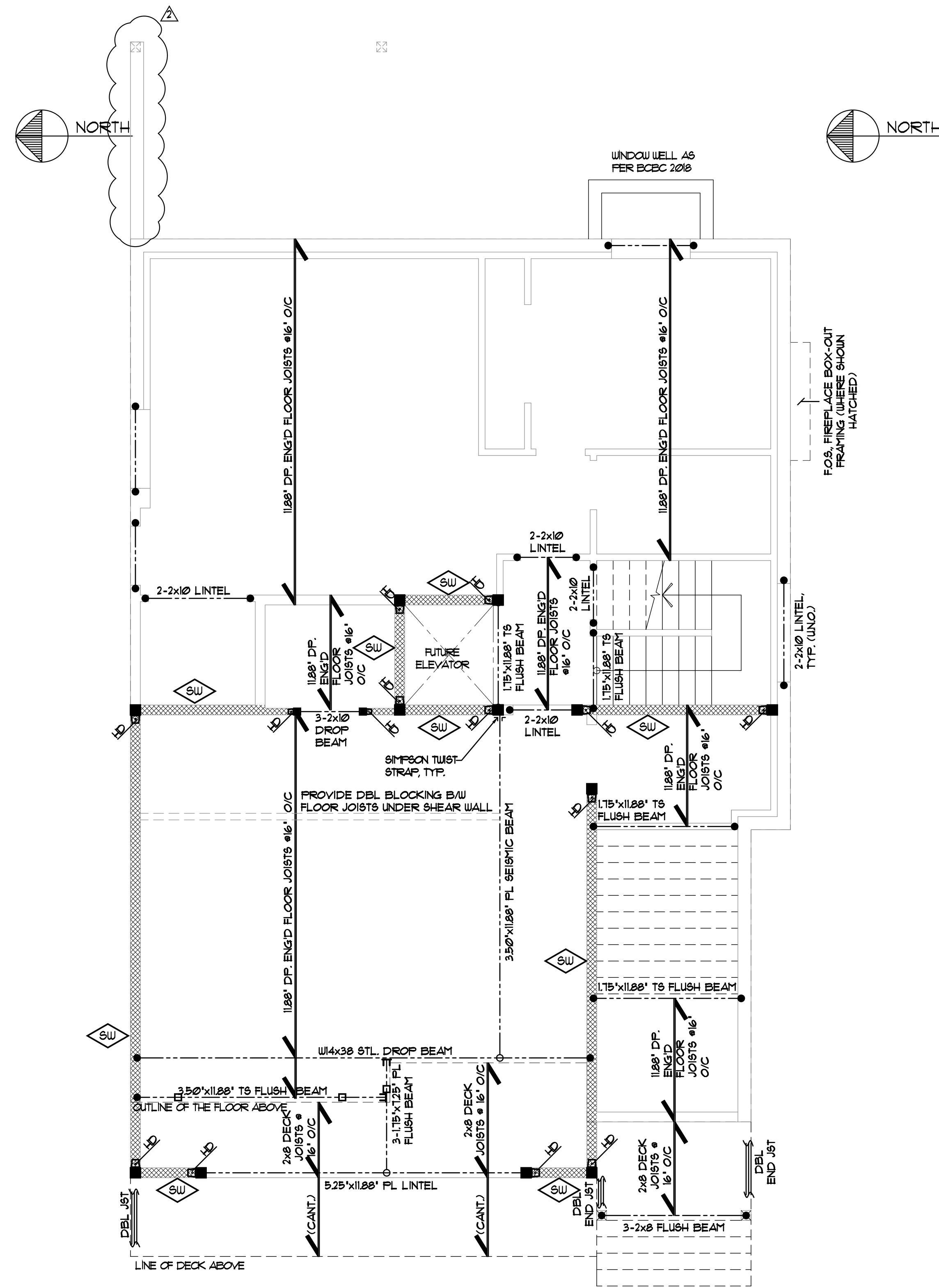
DESIGNED BY: CMC
CHECKED BY: CMC
DRAWN BY: GD
PROJECT NO.: C19110-7
DATE: 10.29.2020
SCALE: AS SHOWN
DRAWING NO.:

A-2



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

- SL-1 - 4" THK CONG. SLAB C/W 10M @ 18" O/C EA. WAY ON 6M V.B. ON APPROVED SUB-GRADE
- SL-2 - 4" THK CONG. S.O.S. C/W 10M @ 18" O/C EA. WAY ON APPROVED SUB-GRADE
- SL-3 - 5" THK CONG. SLAB C/W 10M @ 18" O/C EA. WAY ON APPROVED SUB-GRADE



MAIN FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

- (SD) : SIMPSON DRAG STRUT
- (ST) : SIMPSON MSTCB2 STRAP TIE
- (T) : SIMPSON TIE DOWN STRAP
- (H) : HOLD-DOWN (SIMPSON HDU5 OR EQ. U.N.O.)
- (CANT.) : PROVIDE 3/4" LAG SCREW W/ MIN. OF 6" PENETRATION LENGTH INTO BEAM BELOW (OR IN CASE OF STL. BEAM PROVIDE WELDED 3/4" THREADED ROD FROM 1/2" FLANGE TO EXTEND INTO SHEAR WALL ABOVE)

IMPORTANT NOTES:
1. IT IS IMPERATIVE THAT THESE STRUCTURAL DIAGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DIAGS AND THAT ALL DIMENSIONS MUST CONFORM TO THOSE DIAGS.
2. ALL LINTELS WHERE UNSPECIFIED TO BE MIN. OF 2-2x10 No. 2 S-P-F OR BETTER.

REVISIONS:	
2	REVISION
1	ISSUED FOR BLDG. PERMIT
	02/24/2021
	11/04/2020

SEL Engineering Limited
Consulting Engineers

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SEAL:

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PROJECT TITLE:
NEW SINGLE FAMILY RESIDENCE AT:
LOT 1 - 24850 106 AVENUE,
MAPLE RIDGE, B.C.

DRAWING TITLE:
FOUNDATION PLAN
MAIN FLOOR FRAMING PLAN

DESIGNED BY: CMC
CHECKED BY: CMC
DRAWN BY: GD
PROJECT NO: C19110-7
DATE: 11/04/2020
SCALE: AS SHOWN
DRAWING NO:

S-3