

**SUBDIVISION PLAN OF LOT A,
SECTION 10, TOWNSHIP 12, N.W.D. PLAN EPP105270.**

PLAN EPP107249

B.C.G.S. 92G.028

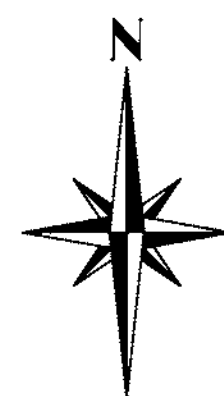


All Distances are in Metres.
The intended plot size of this plan is
864mm in width by 560mm in height
(D size) when plotted at a scale of 1:500

LEGEND:

- Denotes Control Monument found.
- Denotes Standard Iron Post found.
- Denotes Standard Iron Post set.
- NF Denotes No evidence Found.
- oo Denotes overcall

This plan shows one or more witness posts
that are not set at the true corner(s).



PARK
PLAN EPP83424

PARK
PLAN EPP70379

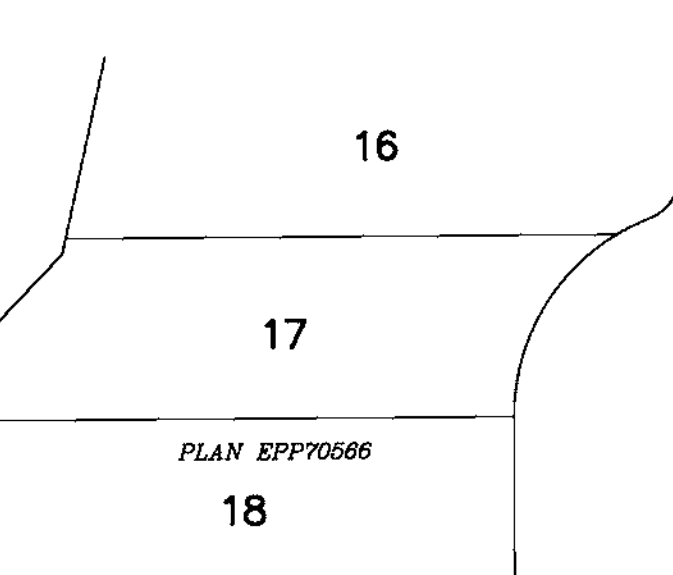
6
PLAN 17613

26

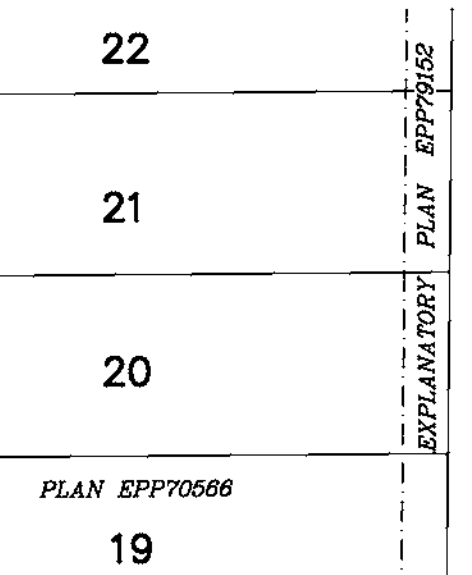
PLAN

43223

27



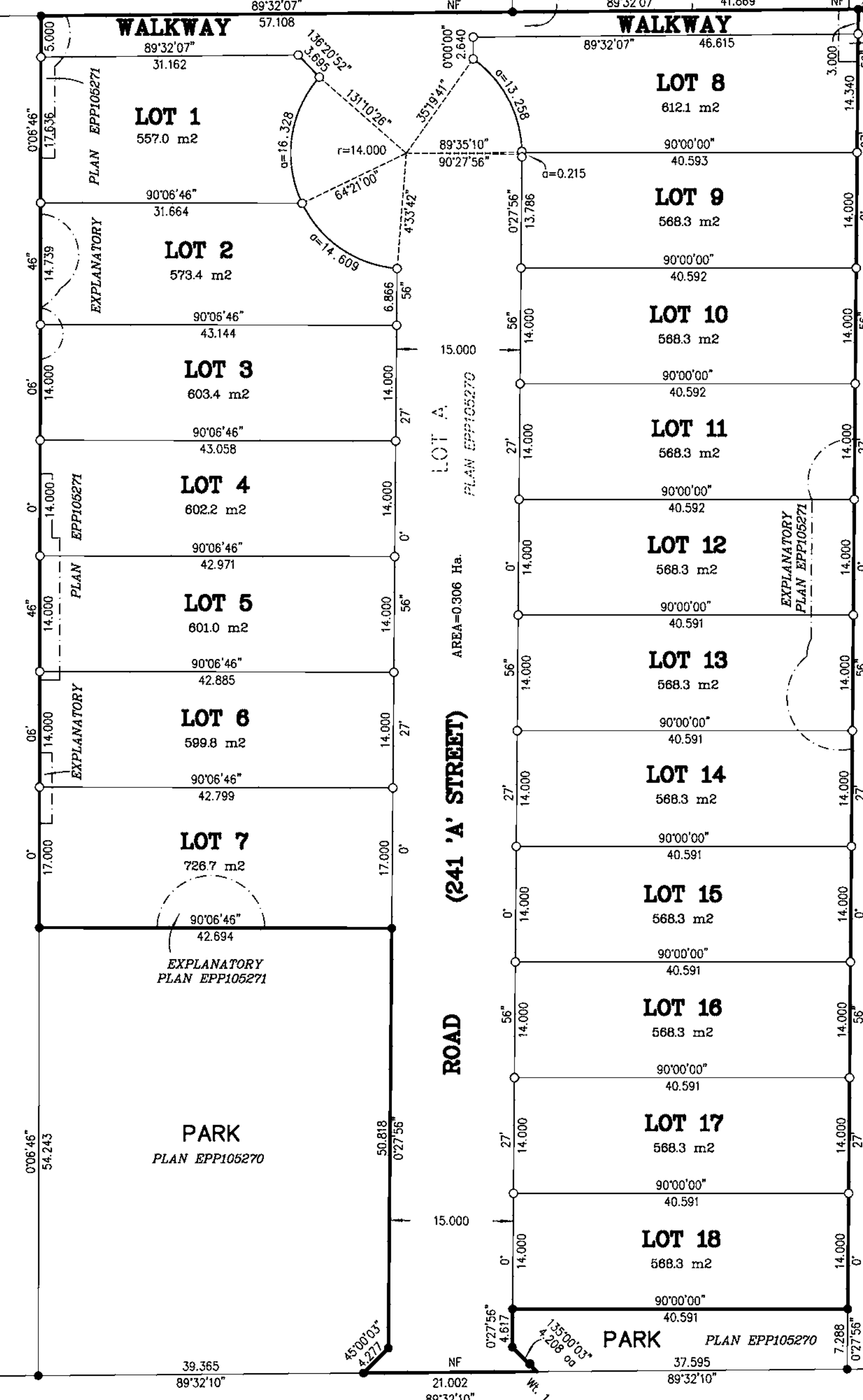
241 'A' STREET



45
PLAN 43601

REM. 11
PLAN 809

31
PLAN 43223



30
PLAN 43223

TP. 12

31

PLAN

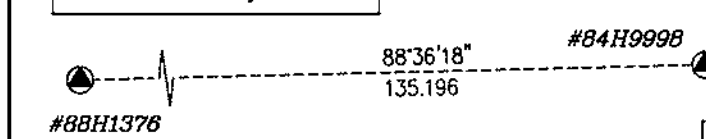
32

43223

33

PLAN 7408

Datum: NAD83 (CSRS)
[4.0.0.BC.1.MVRD]
UTM Zone 10
UTM Northing 5449742.926
UTM Easting 532158.305
Absolute Accuracy is 0.03



Datum: NAD83 (CSRS)
[4.0.0.BC.1.MVRD]
UTM Zone 10
UTM Northing 5449746.216
UTM Easting 532263.408
Absolute Accuracy is 0.03

**Integrated Survey Area No. 36
City of Maple Ridge NAD83 (CSRS) 4.0.0.BC.1.MVRD**

This plan shows horizontal ground-level distances, unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.9996101. The average combined factor has been determined based on geodetic control monuments 84H9998 and 85H0706.

The UTM coordinates and estimated absolute accuracy achieved are derived from the MASCO published coordinates and standard deviations for geodetic control monuments 88H1376 and 84H9998.

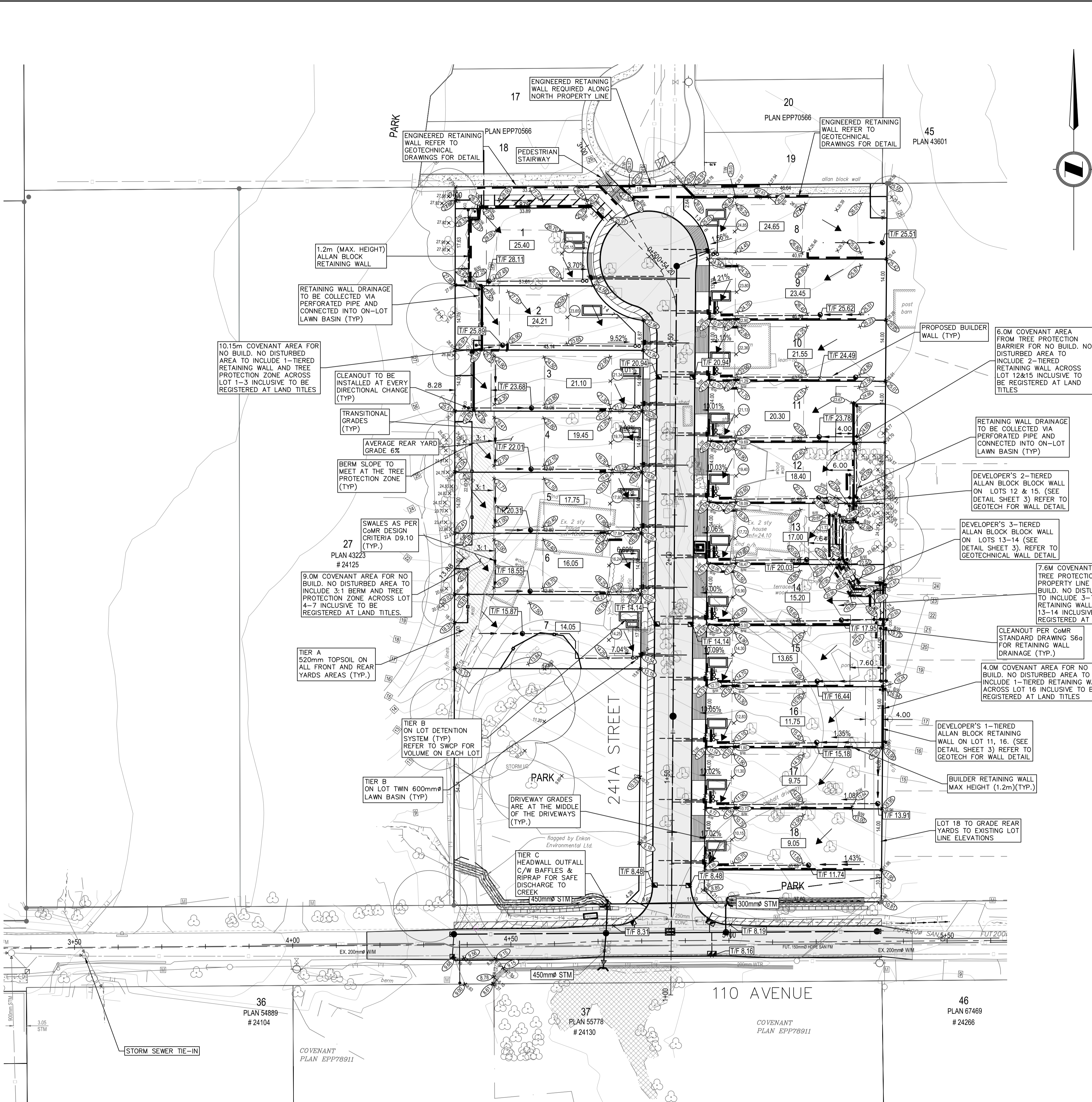
Grid bearings are derived from observations between geodetic control monuments 88H1376 and 84H9998 and are referred to the central meridian of UTM Zone 10.

*This Plan Lies Within The
Metro Vancouver Regional District*

This plan lies within the jurisdiction of the Approving Officer for the City of Maple Ridge. The field survey represented by this plan was completed on the 25th day of November, 2020. Matthew C. Onderwater, BCL5 #805

Onderwater Land Surveying
B.C. Land Surveyors
#104-5830 176A Street
Cloverdale B.C.
FILE: JMR18-54_S2_REV1

Mar 26 2021 - 3:46pm M:\Proj\2111-05125-01 - Morningstar - 24145 110 Ave, Maple Ridge\10.0 DRAWINGS\10.3 Engineering\10.3.1 - Sheets\5125-01-C1-LOT GRADING.dwg/LGP.dsk



LEGEND

- 66.99 EXISTING GROUND ELEVATION (PRIOR TO CONSTRUCTION)
- 66.99 PROPOSED GROUND ELEVATION (BY DEVELOPER'S CONTRACTOR)
- 66.99 PROPOSED GROUND ELEVATION AT CENTER OF LOT (BY DEVELOPER'S CONTRACTOR)
- 66.99 MINIMUM BUILDING ELEVATION (M.B.E.): FOR GRAVITY STORM & GRAVITY SANITARY SERVICING DEFINED AS:
 - ELEVATION OF TOP OF CONCRETE SLAB IN A BASEMENT HOME.
 - ELEVATION OF UNDERSIDE OF JOIST IN CRAWL SPACE OF LESS THAN 1.2m IN HEIGHT.
 - ELEVATION OF TOP OF SKIM COAT IN CRAWL SPACE OF GREATER THAN 1.2m IN HEIGHT.
 - CRAWL SPACE SHALL NOT BE USED FOR STORAGE OF GOODS OR EQUIPMENT DAMAGEABLE BY FLOOD WATERS.
- RIDGE LINE (BY DEVELOPER'S CONTRACTOR)
- DIRECTION OF OVERLAND FLOW
- PROPOSED CATCH BASIN & T/F RAME ELEVATION (WHERE SHOWN)
- PROPOSED LAWN BASIN & T/F RAME ELEVATION
- PROPOSED STORM SERVICE CONNECTION (c/w INSPECTION CHAMBER)
- PROPOSED SANITARY SERVICE CONNECTION (c/w INSPECTION CHAMBER)
- PROPOSED WATER SERVICE CONNECTION (c/w CURB STOP)
- C.O. PROPOSED LOT DRAINAGE STORM SEWER (c/w CLEANOUT AT PROPERTY LINE)
- EXISTING DITCH
- 14 EX. CONTOURS IN METERS (PRIOR TO CONSTRUCTION)
- ∞ ONSITE DETENTION
- BUILDER SWALE

- LEGAL REQUIREMENTS:**
1. RESTRICTIVE COVENANT ON LOT 1-7 AND 11-17 TO RESTRICT DISTURBANCE AND PROVIDE MAINTENANCE ACCESS
 2. A MINIMUM 3.0M NO TOUCH NO DISTURB AND MAINTENANCE EASEMENT COVENANTED BOUNDARY, FROM THE FACE OF ANY REAR YARD RETAINING WALL.

Lot #	GROUND ELEVATION @ TANK SURFACE	TANK BOTTOM ELEVATION	LB 1 RIM	LB 2 RIM	IC Invert at PL
1	25.48	23.34	24.80	24.80	22.60
2	23.98	21.84	22.20	22.20	20.45
3	21.27	19.13	20.48	20.48	18.71
4	19.59	17.45	18.82	18.82	17.05
5	17.90	15.76	17.13	17.13	15.30
6	16.22	14.08	15.44	15.44	13.70
7	14.35	12.21	13.59	13.59	11.85
8	25.16	23.02	24.37	24.37	22.20
9	23.54	21.40	23.30	23.30	21.11
10	23.00	20.86	21.65	21.65	19.55
11	20.65	18.51	19.95	19.95	17.90
12	18.95	16.81	18.28	18.28	16.20
13	17.25	15.11	16.56	16.56	14.60
14	15.45	13.31	14.90	14.90	12.90
15	13.85	11.71	13.28	13.28	11.20
16	12.25	10.11	11.63	11.63	9.52
17	10.90	8.76	10.36	10.36	8.37
18	9.90	7.76	9.41	9.41	7.67

REFER TO DETAIL SHEET #3 FOR LAWNBASIN CONFIGURATION

NOTE:

- CONTRACTOR TO SET LAWNBASIN RIM PER GRADING PLAN
- BUILDER TO RAISED LAWNBASIN RIM TO ULTIMATE RIM ELEVATION PER HOUSE DESIGNER DESIGN
- CLEAN OUT TO BE INSTALLED AT EVERY DIRECTIONAL CHANGE

No.	DATE	REVISION
5	2021.03.26	FIFTH SUBMISSION
4	2020.11.26	FOURTH SUBMISSION
3	2020.11.06	THIRD SUBMISSION
2	2020.08.20	SECOND SUBMISSION
1	2020.01.24	FIRST SUBMISSION

BENCHMARK
 CONTROL MONUMENT OCM 84H9998
 LOCATED AT INT. OF KANAKA CREEK ROAD & 240 ST.
 ELEVATION = 8.773M (NAD83 CSRS)
 DRAWING PRODUCED IN UTM ZONE 10N COORDINATES

LEGAL DESCRIPTION OF PROPERTY
 TOPOGRAPHIC PLAN OF LOTS 28 AND 29
 SECTION 10, TOWNSHIP 12
 NEW WESTMINSTER DISTRICT PLAN 43223

EXISTING PROPOSED
 SANITARY SEWER
 GAS
 WATER
 U.G. LIGHTING
 U.G. HYDRO
 U.G. TELEPHONE
 MANHOLE
 CATCH BASIN
 WATER OR GAS VALVE

DITCH
 UTILITY POLE / ANCHOR
 FIRE HYDRANT
 IRON PIN
 BASEMENT ELEV.
 EDGE OF PAVEMENT
 FENCE
 SIDEWALK
 SURVEY MONUMENT
 SAN. INSPECTION CHAMBER
 STREET LIGHT

EDGE OF GRAVEL
 SLOPE
 SHRUB
 HEDGE
 TREE
 BUILDING

TOP TOE
 DECIDUOUS
 CONIFEROUS

DRAWN HR
 DESIGNED DS
 CHECKED LL
 APPROVED LL
 FIELD BOOK FB
 SCALES
 HORZ. 1:500
 VERT.



CITY OF MAPLE RIDGE
 ENGINEERING DEPARTMENT

LOT GRADING PLAN

24145 & 24185 110 AVENUE, MAPLE RIDGE

DATE: JANUARY 2020
 SHEET: 02 OF 21
 DWG. No.: 02